

LADBS
B SLA 2 017
APPROVED

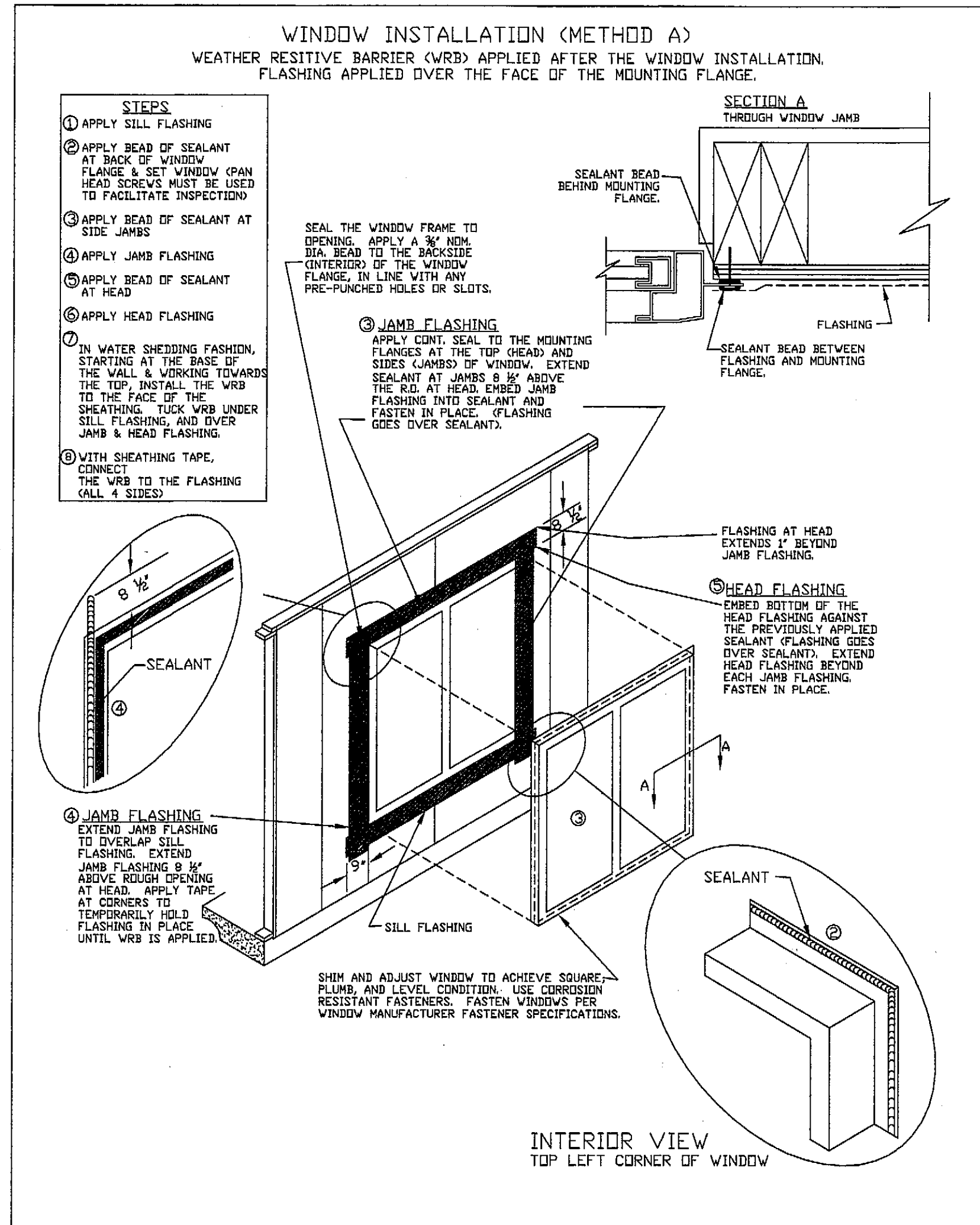
Notes:

- 1) All Construction to remain unless otherwise noted.
- 2) The Governing Codes for this project are the 2016 Edition of California Building Code (CBC), 2016 CM, 2016 CPC, 2016 CEC, and 2016 T-24 Energy Conservation Regulations and City Ordinances.
- 3) New Construction to be Type V-B.
- 4) Provide R-13 Insulation on Exterior Walls.
- 5) Provide R-19 Under raised floor area.
- 6) Provide R-30 Insulation on Ceiling.
- 7) Provide Hard wired smoke detectors (Battery Backup) in all sleeping rooms located in adjacent hallway. Provide battery operated smoke detectors in existing bedrooms. Detectors shall sound an alarm audible in all sleeping areas of the unit.
- 8) Provide 1.6 Gal. Per flush water closets.
- 9) Bathrooms are required to be mechanically ventilated with a minimum 50 cfm intermittent or 25 cfm continuous.
- 10) New Glazing to be Dual Glazed.
- 11) All Branch circuits that supply 125 volt, single phase, 15 and 20 ampere outlets shall be protected by Arc-Fault Circuit Interrupter (AFCI) [CEC 210.12].
- 12) Bathrooms and Kitchens shall have Fluorescent Lighting with at least 40 Lumens per watt.
- 13) Bathroom Receptacles shall be served by Dedicated 20amp Circuits-NEC Section 210-52(d). (CEC 210-11C3).
- 14) Any fixed appliance such as disposal, dishwasher, clothes washer, dryer, built-in heaters, or any other fixed appliance with 1/4 H.P. motor or larger, shall be on a separate #12 AWG wire branch circuit. Each dwelling unit shall have installed therein an individual disposal circuit supplied with a minimum #12 AWG wire and a 15 AMP indicating-type switch. [CEC 210-23 & 220].
- 15) Shower walls must be finished to a height of 70" above drain inlet and moisture resistive tile or approved equal. Glass Enclosure doors and panels must be 1/8" full tempered.
- 16) All glazing less than 60" above a shower or tub floor shall be safety glazing. [CBC 2406.3 ITEM 5].
- 17) Control valves for shower and tub - shower shall be of the pressure balance or thermostatic mixing valve type. Max Temperature 120. Sec 410.7 UPC.

- 19) Building Address shall be provided on the building in such a position as to plainly be visible and legible from the street 4' tall and automatically illuminated numbers.
- 20) Glazing in Hazardous locations shall be tempered. (2406.4)
 - a. Ingress and egress doors
 - b. panels in sliding or swinging doors.
 - c. doors and enclosure for hot tub, bathtub, showers (also glazing in wall enclosing these compartments within 5' of standing surface) 1115.B.9.B.
 - d. if within 2' of vertical edge of closed door and within 5' of standing surface.

TABLE 2304.9.1-continued
FASTENING SCHEDULE

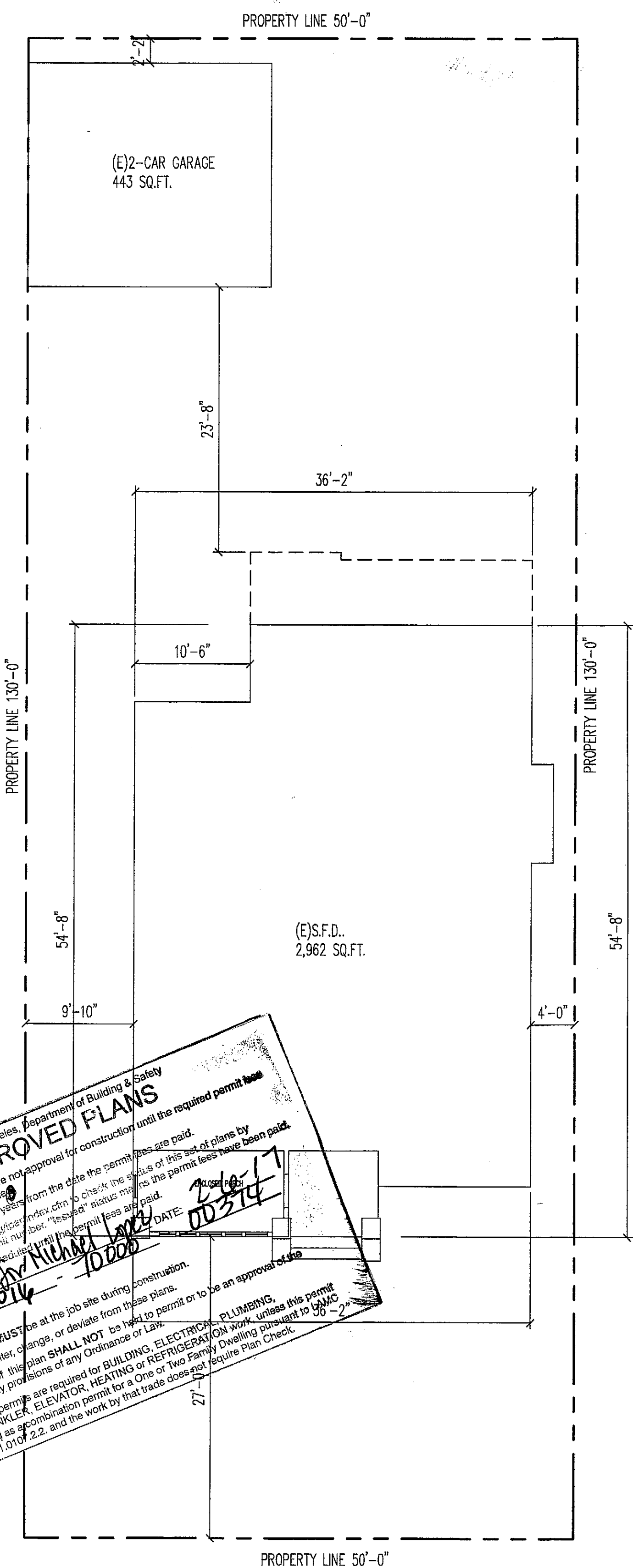
CONNECTION	FASTENING SCHEDULE	LOCATION
17. Ceiling joists, lags over partitions (see Section 2308.10.4.1, Table 2308.10.4.1)	3- 16d common (3 1/2" x 0.162") minimum, Table 2308.10.4.1 4- 3" x 0.131" nails 4- 3" x gage staples	face nail
18. Ceiling joists parallel rafters (see Section 2308.10.4.1, Table 2308.10.4.1)	3- 16d common (3 1/2" x 0.162") minimum, Table 2308.10.4.1 4- 3" x 0.131" nails 4- 3" x 14 gage staples	face nail
19. Rafter to plate (see Section 2308.10.4.1, Table 2308.10.4.1)	3- 8d common (2 1/2" x 0.131") 3- 3" x 0.131" nails 3- 3" x 14 gage staples	face nail
20. 1" Diagonal brace to each stud plate	3- 8d common (2 1/2" x 0.131") 3- 3" x 0.131" nails 3- 3" x 14 gage staples	face nail
21. 1" x 6" sheathing to each bearing	3- 8d common (2 1/2" x 0.131")	face nail
22. Wider than 1" x 6" sheathing to each bearing	3- 8d common (2 1/2" x 0.131")	face nail
23. Build-up corner stud	16d common (3 1/2" x 0.162") 3" x 0.131" nails 3" x 14 gage staples	24" o.c. 16" o.c. 16" o.c.
24. Build-up girder and beam	20d common (4" x 0.192") 32" o.c. 3" x 0.131" nail at 24" o.c. 3" x 14 gage staple at 24" o.c. 2- 20d common (4" x 0.192") 3- 3" x 14 x 1.131" nails 3- 3" x 14 gage staples	face nail at ends and at each splice on opposite sides face nail at top and bottom staggered at each bearing
25. 2" Planks	16d common (3 1/2" x 0.162") 4- 3" x 0.131" nails 4- 3" x 14 gage staples	face nail
26. Color tile to rafter	3- 10d common (3" x 0.148") 4- 3" x 0.131" nails 4- 3" x 14 gage staples	toenail
27. Jack rafter to hip	2- 16d common (3 1/2" x 0.162") 3- 3" x 0.131" nails 3- 3" x 14 gage staples	face nail
28. Roof rafters to 2-by ridge beam	2- 16d common (3 1/2" x 0.162") 3- 3" x 0.131" nails 3- 3" x 14 gage staples 2- 16d common (3 1/2" x 0.162") 3- 3" x 0.131" nails 3- 3" x 14 gage staples	toenail face nail
29. Jamb to band joist	3- 16d common (3 1/2" x 0.162") 4- 3" x 0.131" nails 4- 3" x 14 gage staples	face nail



SHEAR WALL CHART PER CBC 2012 & CBC 2013

SHEAR-WALL No.	SHEAR-WALL TYPE	NAILING PATTERN		SHEAR-WALL VALUE (psi)	Top Plate Connection LTP4/A35 w/ 8d nails (1-1/2" x .131 dia.)	Sole Plate w/ 16d Nailing or SDS250	Ex mud Sill (C) Figs w/ 3x Sill	Mud Sill (E) Figs w/ 3x Sill
		Edge Nailing	Field Nailing					
1	3x GYPSUM PLASTER SETBACK PANEL 2x2 METAL LATH w/ 1/2" STAPLES @ 6" O.C. TO ALL SURF. 1/2" BOT. PLATE PLUS EDGE BLOCKINGS	6" o.c.	12" o.c.	180	48" o.c.	16d @ 12" o.c.	60" o.c.	60" o.c.
2	3/8" Structural I w/ Bd	6" o.c.	12" o.c.	200	32" o.c.	16d @ 6" o.c.	48" o.c.	48" o.c.
3	15/32" Structural I w/ Bd	6" o.c.	12" o.c.	280	24" o.c.	16d @ 4" o.c.	48" o.c.	32" o.c.
4	15/32" Structural I w/ Bd	4" o.c.	12" o.c.	430	16" o.c.	SDS @ 12" o.c.	32" o.c. w/ 3x Sill	24" o.c.
5	15/32" Structural I w/ Bd	3" o.c.	12" o.c.	550	12" o.c.	SDS @ 8" o.c.	32" o.c. w/ 3x Sill	24" o.c.
6	15/32" Structural I w/ Bd	2" o.c.	12" o.c.	730	8" o.c.	SDS @ 8" o.c.	24" o.c. w/ 3x Sill	16" o.c.
7	15/32" Structural I w/ 10d	6" o.c.	12" o.c.	340	16" o.c.	16d @ 4" o.c.	48" o.c.	32" o.c.
8	15/32" Structural I w/ 10d	4" o.c.	12" o.c.	510	12" o.c.	SDS @ 12" o.c.	32" o.c. w/ 3x Sill	24" o.c.
9	15/32" Structural I w/ 10d	3" o.c.	12" o.c.	665	12" o.c.	SDS @ 8" o.c.	32" o.c. w/ 3x Sill	24" o.c.
10	15/32" Structural I w/ 10d	2" o.c.	12" o.c.	870	8" o.c.	SDS @ 6" o.c.	24" o.c. w/ 3x Sill	16" o.c.

- NOTES:**
1. Use only common nails (2-1/2" x .131" dia.), 10d (3" x .141" dia.), 16d (3-1/2" x .161" dia.)
 2. Nails shall be placed not less than 1/2" from the panel edges and not be less than 3/8" from edge of studs for shearwalls >350 pif and not be less than 3/8" from the panel edges and not be less than 1/2" from the edge of studs for shearwalls <= 350 pif
 3. Nails or Screws shall not be less than 3/8" from the edge of connecting member
 4. Simpson wood Screw to be SDS250 (CSR-2236, LARR-2571D) No pre-drilling required. Minimum thickness side member is 1-1/2", blocking or rim joist. Minimum thread penetration is 3-1/2" for full capacity
 5. For new shearwalls > 350 pif require 3x foundation sill plate and 3x studs between adjacent panel edges
 6. For existing stud walls with shearwalls > 350 pif, add 2x member between studs at foundation sill plates and use SDS250 screws per schedule. Use 1 anchor per bay and sister new 2x stud to (C) with 16d nails @ 6" o.c.
 7. A.B. to have 7" min. embedment into concrete
 8. Use silyson epoxy set or equal @ (C) Figs. w/ 4" min. embedment
 9. Anchor bolts in shearwalls to have min. 1/4" x 3" x 3" plate washers
 10. Galvanized nails shall be hot dipped or tumbled
 11. 1-1/2" minimum nailing penetration into framing member is required for 10d nails. 1-3/8" minimum nailing penetration into framing member is required for 9d nails



SCOPE OF WORK:
EXISTING 2 BEDROOM 3 BATH HOME TO BECOME 7 BEDROOMS 3 BATH, KITCHEN REMODEL, REMOVE & PROPOSED PARTITION WALLS, NEW BEAM.

APPROVED PLANS

City of Los Angeles, Department of Building & Safety

This notarized set of plans are not approved for construction until the required permit fees are paid and the permit is issued from the date the permit fees are paid.

The permit is valid for two years from the date the permit fees are paid.

Visit <http://www.permitsonline.com> to check the status of the permit fees.

No other work shall be done on this site during construction.

BY: *[Signature]* DATE: 02/17/2017

Permit No. _____ Application No. _____

This set of plans MUST be as shown on these plans.

It is unlawful to alter, change or deviate from these plans.

The stamping of this plan SHALL NOT be held to permit or to be an approval of any violation of any provisions of any Ordinance or Law.

SEPARATE permits are required for BUILDING, ELECTRICAL, PLUMBING, FIRE SPRINKLER, ELEVATOR, HEATING OR REFRIGERATION work, unless this permit was issued as a combination permit for a One or Two Family Dwelling pursuant to SBMO Section 91.0101.2.2, and the work by that trade does not require plan check.

PROPERTY BOUNDARY DESCRIPTION
A.P.N. 5021-003-010
PIONEER INVESTMENT AND TRUST CO'S UNIVERSITY PLACE LOT 147

AREA SUMMARY:

OCCUPANCY ZONE	R-3 LIVING AREA U-GARAGE
NUMBER OF STORIES	2-STORY
EXISTING LOT SIZE	6,898 SQ.FT.
EXISTING S.F.D.	2,962 SQ.FT.
EXISTING 2-CAR GARAGE	443 SQ.FT.
TOTAL SQUARE FOOTAGE	6,700 SQ.FT.

Lc 24 %

PLOT PLAN
SCALE 1/8"=1'-0"



HALLDALE AVE

READY TO ISSUE
BY MICHAEL LOPEZ
FEB 03 2017

ARTURO VAZQUEZ
562-307-6125
7639 RAMISH AVE
BELL GARDENS, CA 90201

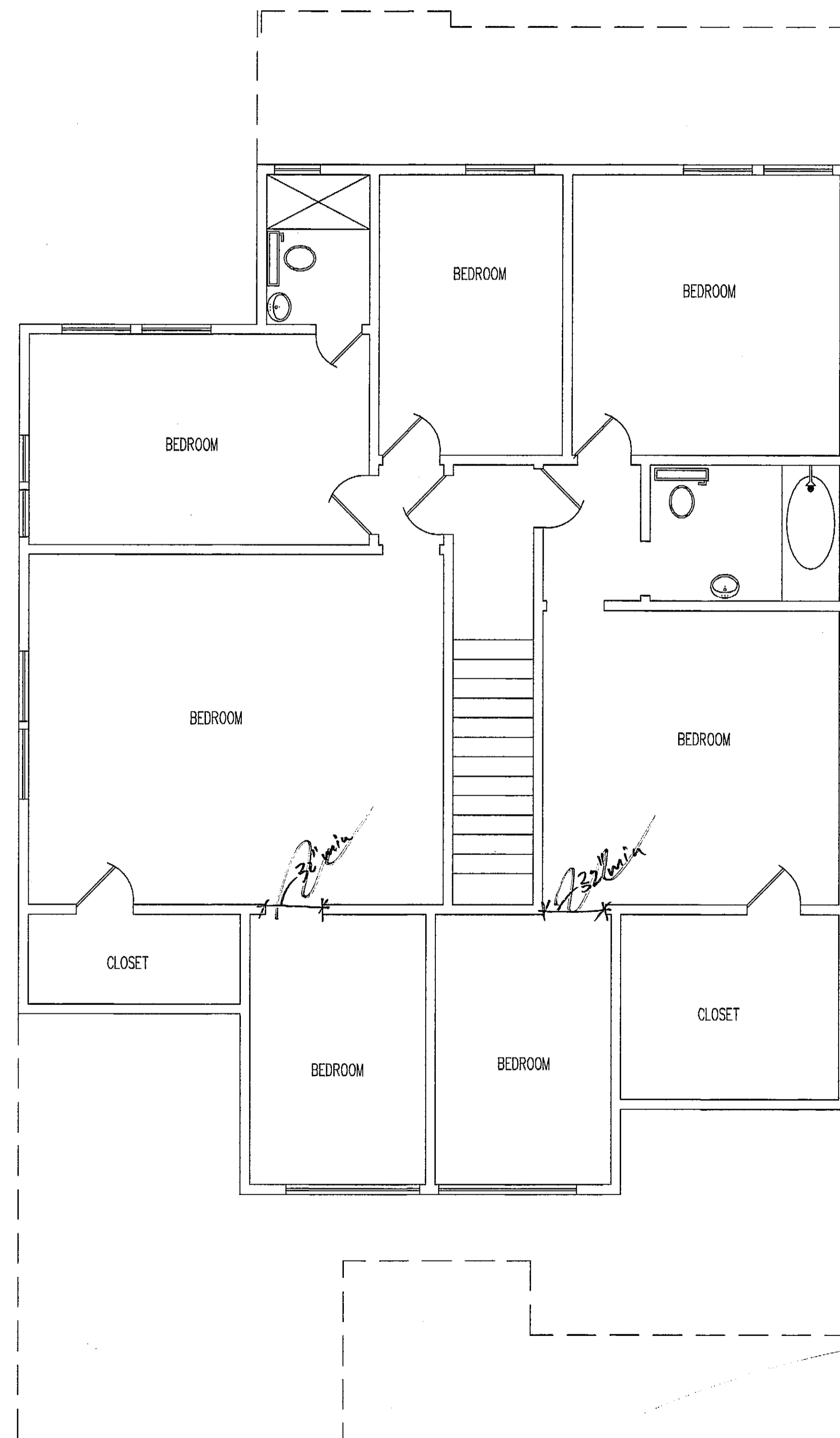
NO.	DATE	COMMENTS

DRAWN BY: JOSE TORRES
CHECKED BY: _____
DATE: 3-9-2017
SCALE: AS NOTED

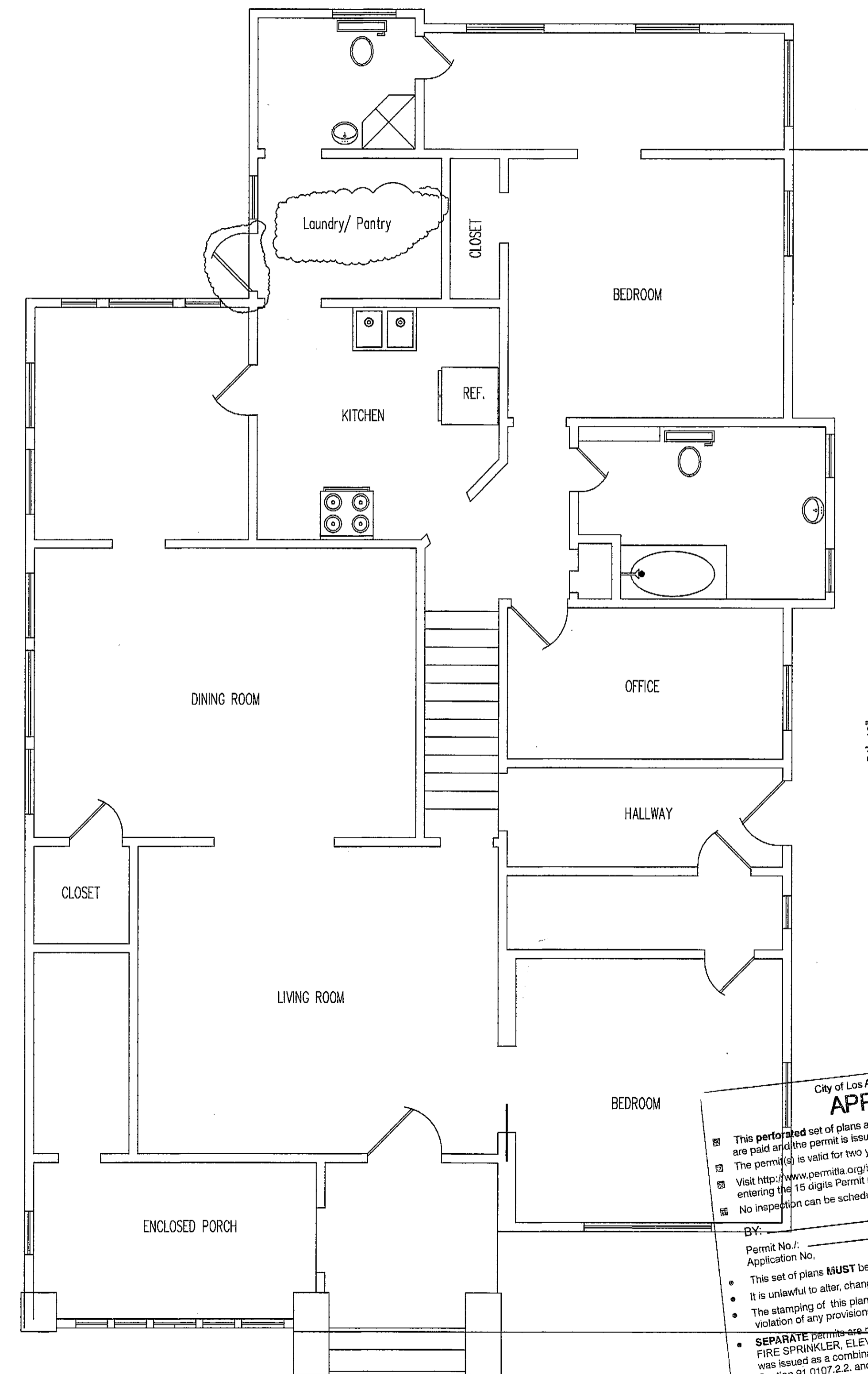
JDF Group LLC
4041 Halldale ave
Los Angeles, Ca 90062

SHEET
A-1

LMBS
 B SLA 2 017
 APPROVED



(E) 2ND. FLOOR PLAN
 SCALE 1/4"=1'-0"
 NORTH



(E) 1ST. FLOOR PLAN
 SCALE 1/4"=1'-0"
 NORTH

City of Los Angeles, Department of Building & Safety
APPROVED PLANS
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 Visit <http://www.permitla.org/ipar/index.cfm> to check the status of this set of plans by entering the 15 digit Permit number. "Issued" status means the permit fees have been paid.
 No inspection can be scheduled until the permit fees are paid.
 BY: _____ DATE: _____
 Permit No.: _____
 Application No.: _____
 • This set of plans **MUST** be at the job site during construction.
 • It is unlawful to alter, change, or deviate from these plans.
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READY TO ISSUE
 BY MICHAEL LOPEZ
 FEB 03 2017
 Signature _____

ARTURO VAZQUEZ
 562-307-6125
 7639 RAMISH AVE
 BELL GARDENS, CA 90201

NO.	DATE	COMMENTS

DRAWN BY: ARTURO VAZQUEZ
 CHECKED BY: _____
 DATE: 4-2-11
 SCALE: AS NOTED

JDF Group LLC
 4041 Halldale ave
 Los Angeles, Ca 90062

~SHEET~

A-2

Dimmer Single Pole Switch with Dimmer

Duplex Outlet
Ground Fault Interruptor (G.F.C.I.)

Ceiling Hung Light Fixture

Exhaust Fan/ Heat and Light ENERGY STAR
minimum 50 CFM intermittent or 25 CFM continuous
Hard Wired Smoke Detectos with Battery Back up

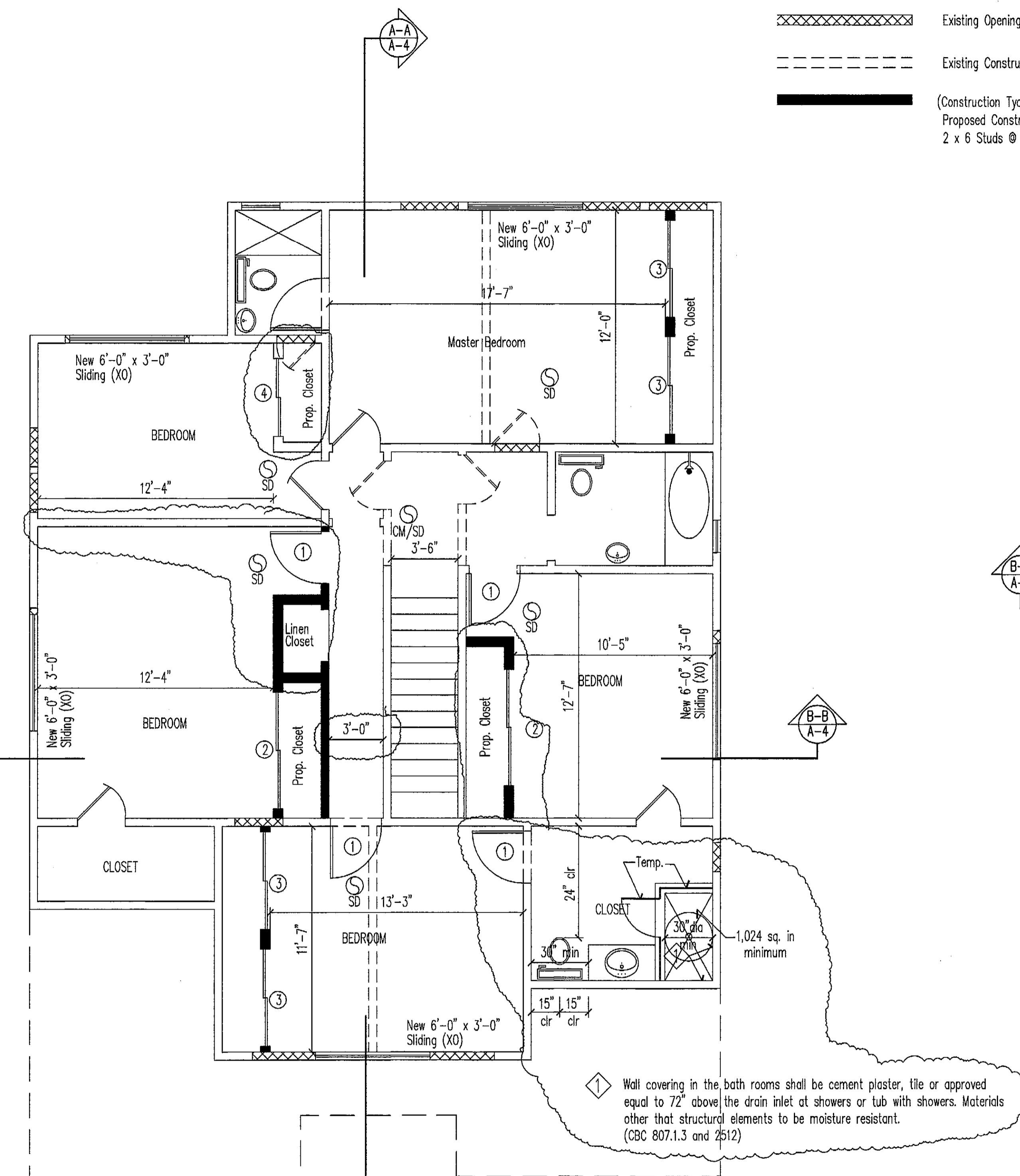
CARBON MONOXIDE / SMOKE DETECTOR
COMBO

Light and Ventilation Calc's

Bedroom #1	=	116 sq. ft.
Light	=	116 sq. ft. x .08 = 9.28 sq. ft. needed
Proposed	=	15 sq. ft. > 9.28 sq. ft. (OK)
Ventilation	=	4.64 sq. ft. needed
Proposed	=	7.5 sq. ft. > 4.64 sq. ft. (OK)
Bedroom #2	=	156 sq. ft.
Light	=	156 sq. ft. x .08 = 12.48 sq. ft. needed
Proposed	=	15 sq. ft. > 12.48 sq. ft. (OK)
Ventilation	=	6.24 sq. ft. needed
Proposed	=	7.5 sq. ft. > 6.24 sq. ft. (OK)
Bedroom #3	=	162.53 sq. ft.
Light	=	162.53 sq. ft. x .08 = 13.00 sq. ft. needed
Proposed	=	18 sq. ft. > 13.00 sq. ft. (OK)
Ventilation	=	6.5 sq. ft. needed
Proposed	=	9 sq. ft. > 6.5 sq. ft. (OK)
Bedroom #4	=	153.47 sq. ft.
Light	=	153.47 sq. ft. x .08 = 12.27 sq. ft. needed
Proposed	=	18 sq. ft. > 12.27 sq. ft. (OK)
Ventilation	=	6.13 sq. ft. needed
Proposed	=	9 sq. ft. > 6.13 sq. ft. (OK)
Bedroom #5	=	144.42 sq. ft.
Light	=	144.42 sq. ft. x .08 = 11.55 sq. ft. needed
Proposed	=	18 sq. ft. > 11.55 sq. ft. (OK)
Ventilation	=	5.77 sq. ft. needed
Proposed	=	9 sq. ft. > 5.77 sq. ft. (OK)
Bedroom #6	=	167.85 sq. ft.
Light	=	167.85 sq. ft. x .08 = 13.42 sq. ft. needed
Proposed	=	18 sq. ft. > 13.42 sq. ft. (OK)
Ventilation	=	6.71 sq. ft. needed
Proposed	=	9 sq. ft. > 6.71 sq. ft. (OK)
Master Bedroom	=	211 sq. ft.
Light	=	211 sq. ft. x .08 = 16.88 sq. ft. needed
Proposed	=	18 sq. ft. > 16.88 sq. ft. (OK)
Ventilation	=	8.44 sq. ft. needed
Proposed	=	9 sq. ft. > 8.44 sq. ft. (OK)

Wall Legend:

- Existing Construction to Remain
- Existing Opening to be Sealed
- Existing Construction to be Removed
- (Construction Type V-B)
Proposed Construction 2 x 4 Studs @ 16" o/c
2 x 6 Studs @ 16" o/c at all plumbing walls



(N) 2ND. FLOOR PLAN
SCALE 1/4"=1'-0" NORTH

Dimmer Single Pole Switch with Dimmer

Duplex Outlet
Ground Fault Interruptor (G.F.C.I.)

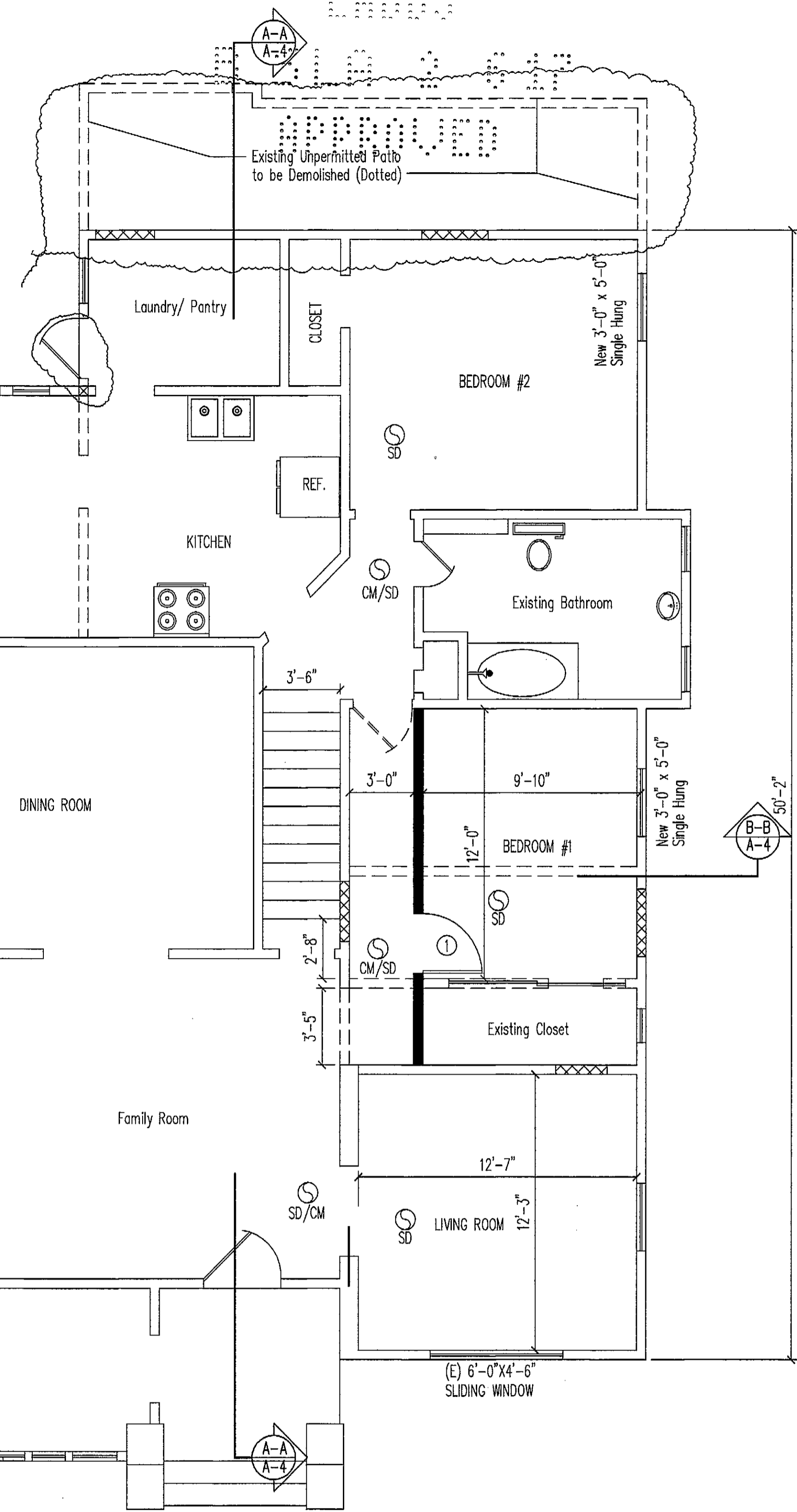
Ceiling Hung Light Fixture

Exhaust Fan/ Heat and Light ENERGY STAR
minimum 50 CFM intermittent or 25 CFM continuous
Hard Wired Smoke Detectos with Battery Back up

CARBON MONOXIDE / SMOKE DETECTOR
COMBO

DOOR SCHEDULE

1	=	2'-8"x6'-8"H/C INTERIOR DOOR
2	=	6'-0"x6'-8" SLIDING CLOSET DOOR TEMP.
3	=	5'-0"x6'-8" SLIDING CLOSET DOOR TEMP.
4	=	4'-0"x6'-8" SLIDING CLOSET DOOR TEMP.



(N) 1ST. FLOOR PLAN NORTH

APPROVED PLANS

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Visit <http://www.permitla.org/ipar/index.cfm> to check the status of this set of plans by entering the 15 digit Permit number. "Issued" status means the permit fees have been paid.

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BY: _____ DATE: _____

Permit No./ Application No. _____

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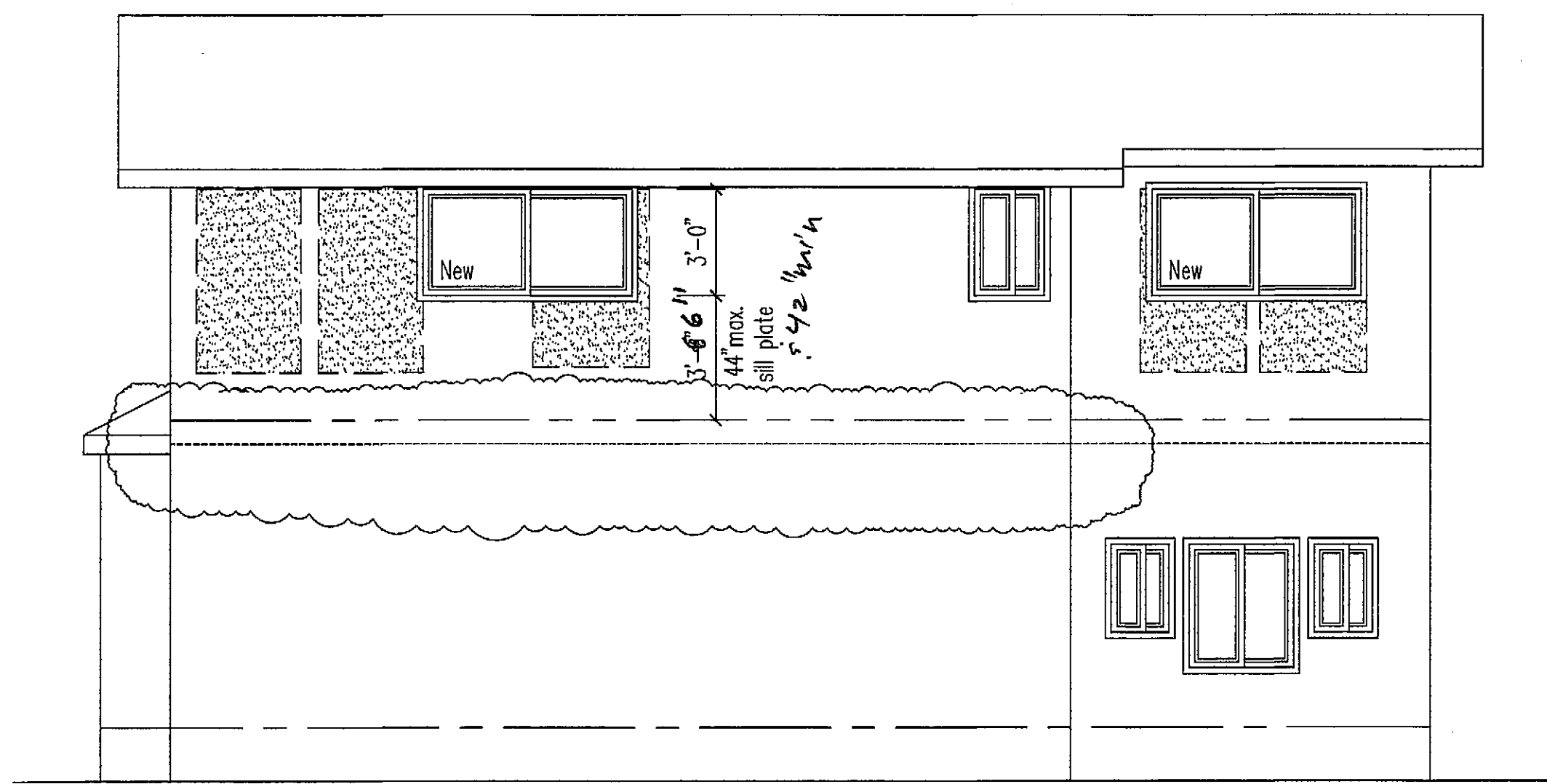
READY TO ISSUE
BY MICHAEL LOPEZ
FEB 03 2017
Signature _____

ARTURO VAZQUEZ
562-307-6125
7639 RAMISH AVE
BELL GARDENS, CA 90201

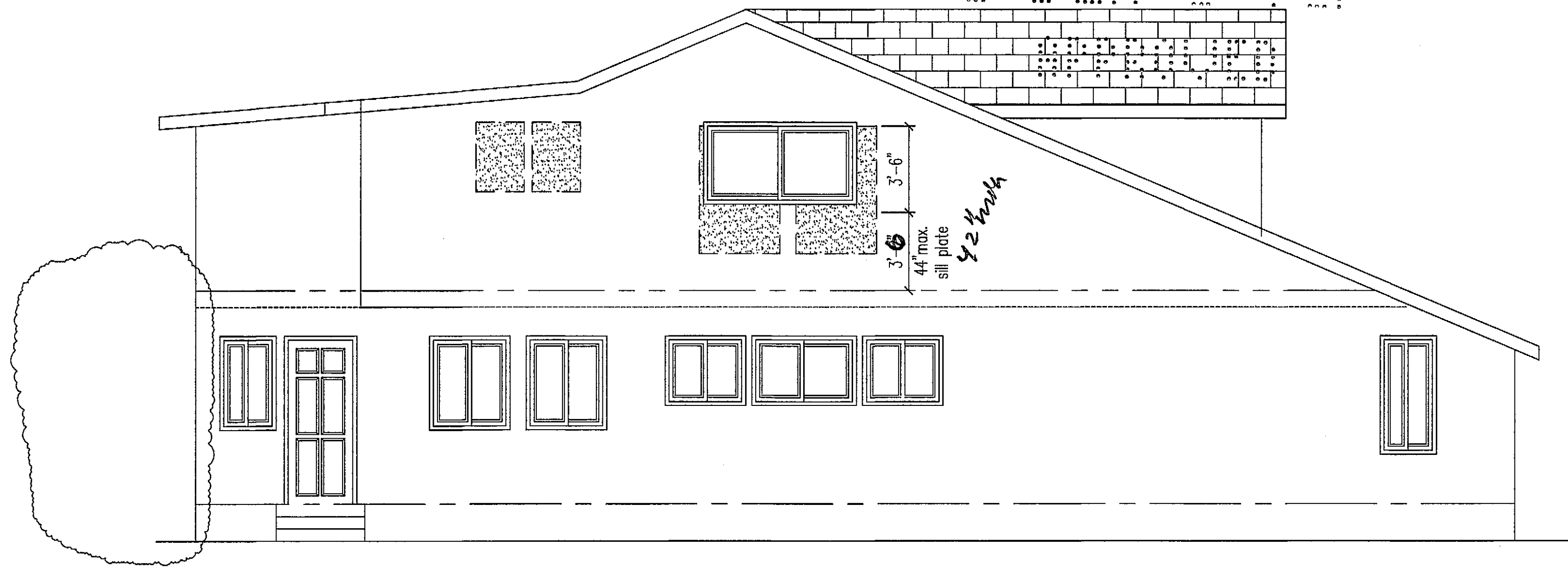
NO.	DATE	COMMENTS

DRAWN BY: ARTURO VAZQUEZ
CHECKED BY: _____
DATE: 9-9-2017
SCALE: AS NOTED

JDF Group LLC
4041 Halldale ave
Los Angeles, Ca 90062



EAST ELEVATION
SCALE 1/4"=1'-0"



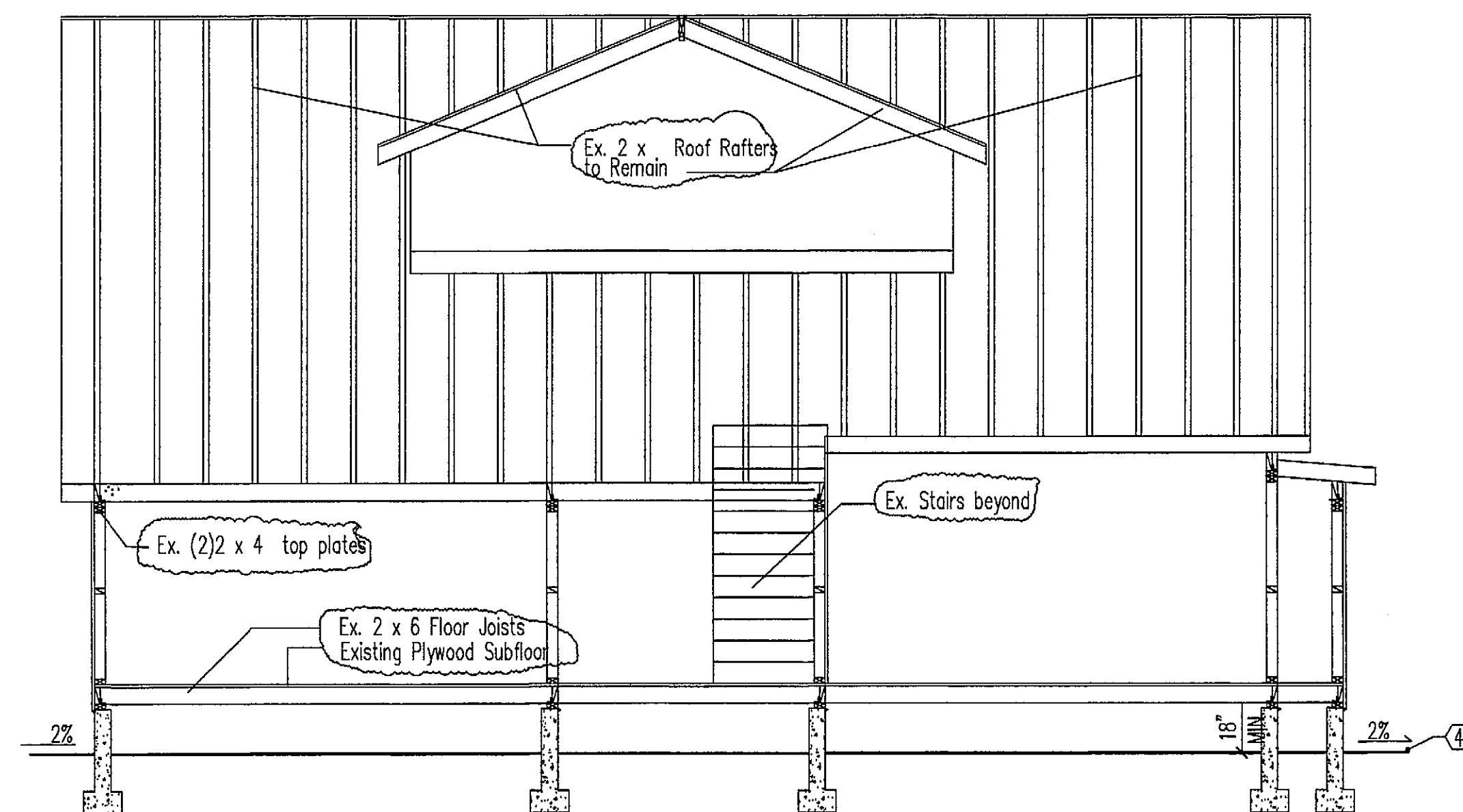
SOUTH ELEVATION
SCALE 1/4"=1'-0"



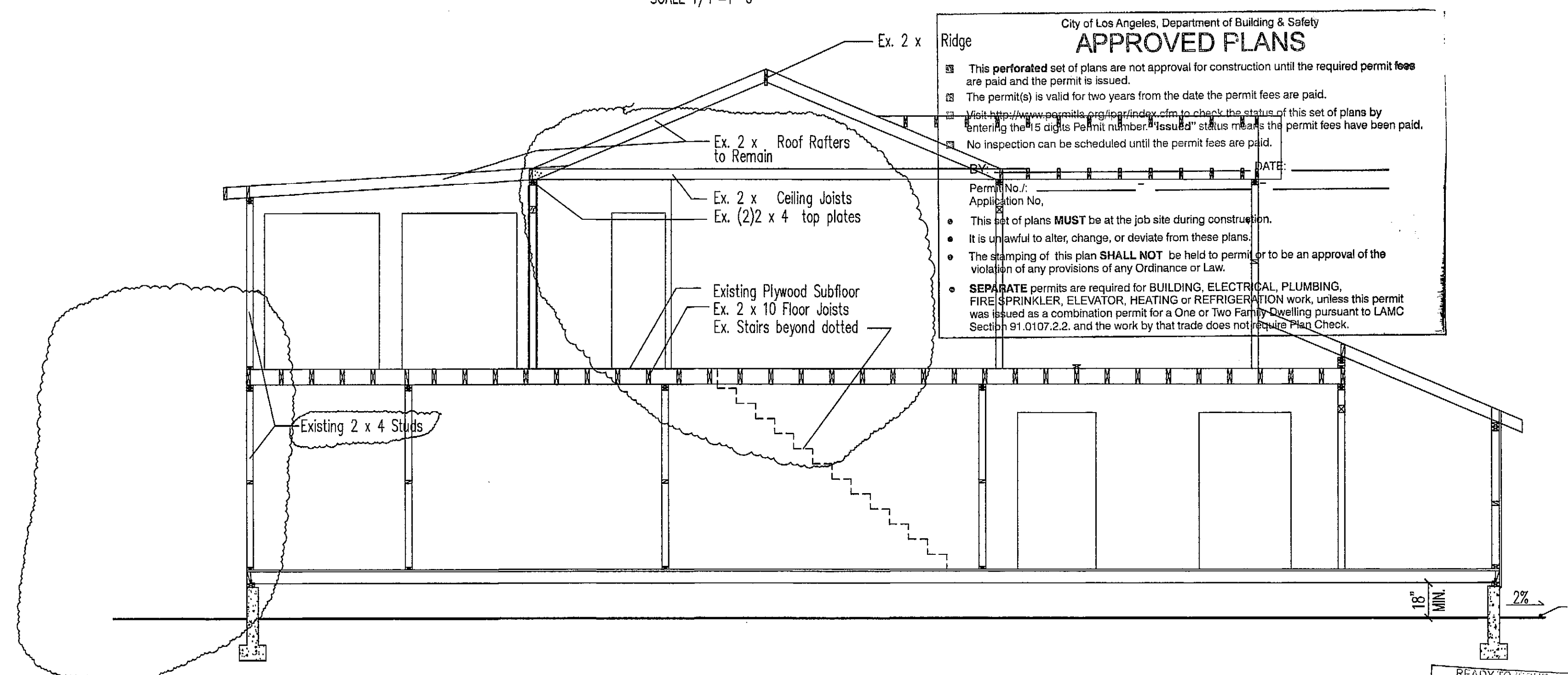
NORTH ELEVATION
SCALE 1/4"=1'-0"



WEST ELEVATION
SCALE 1/4"=1'-0"



SECTION B-B
SCALE 1/4"=1'-0"



SECTION A-A
SCALE 1/4"=1'-0"

City of Los Angeles, Department of Building & Safety
APPROVED PLANS

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BY MICHAEL LOPEZ
FEB 03 2017
Signature _____

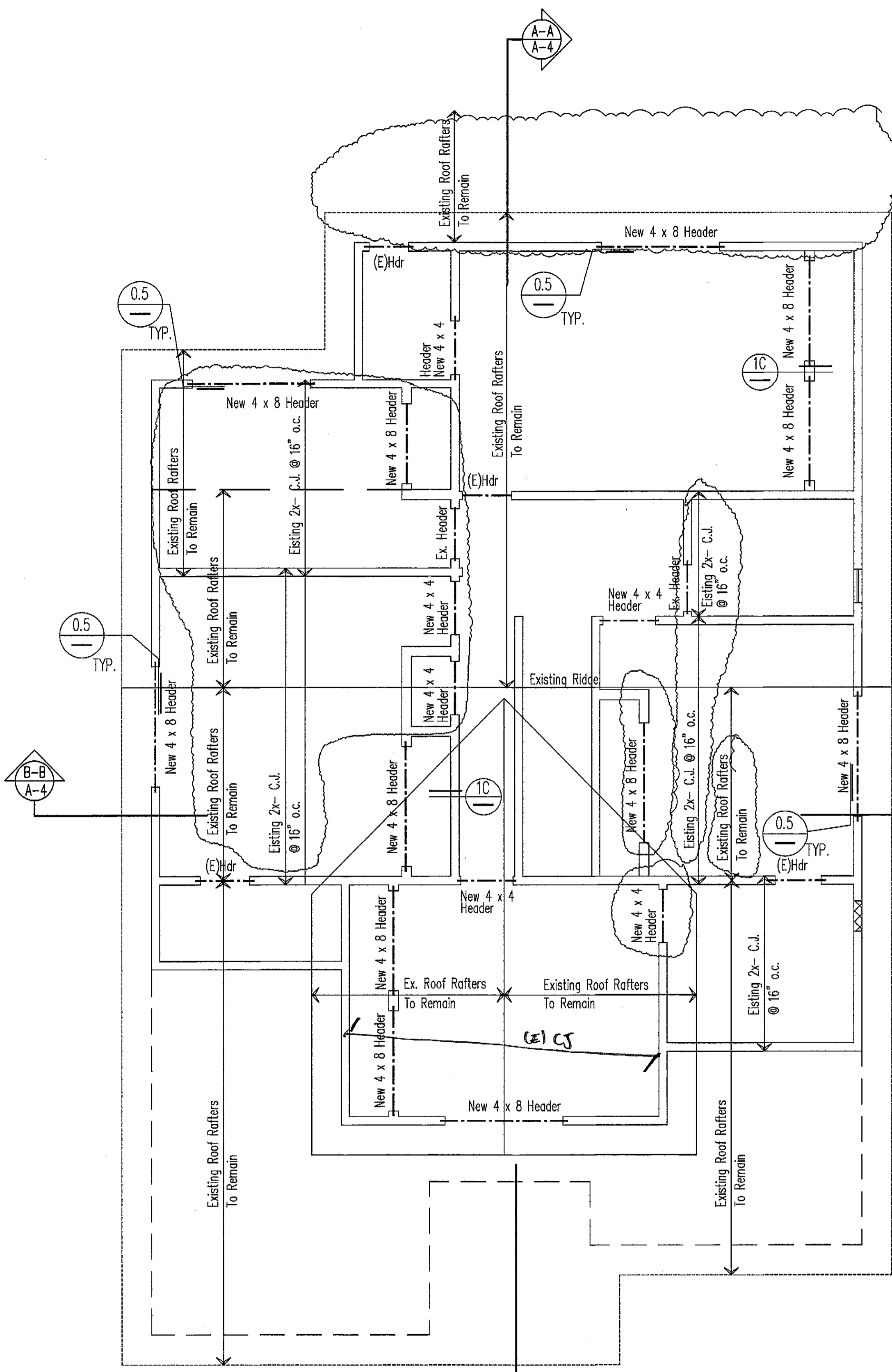
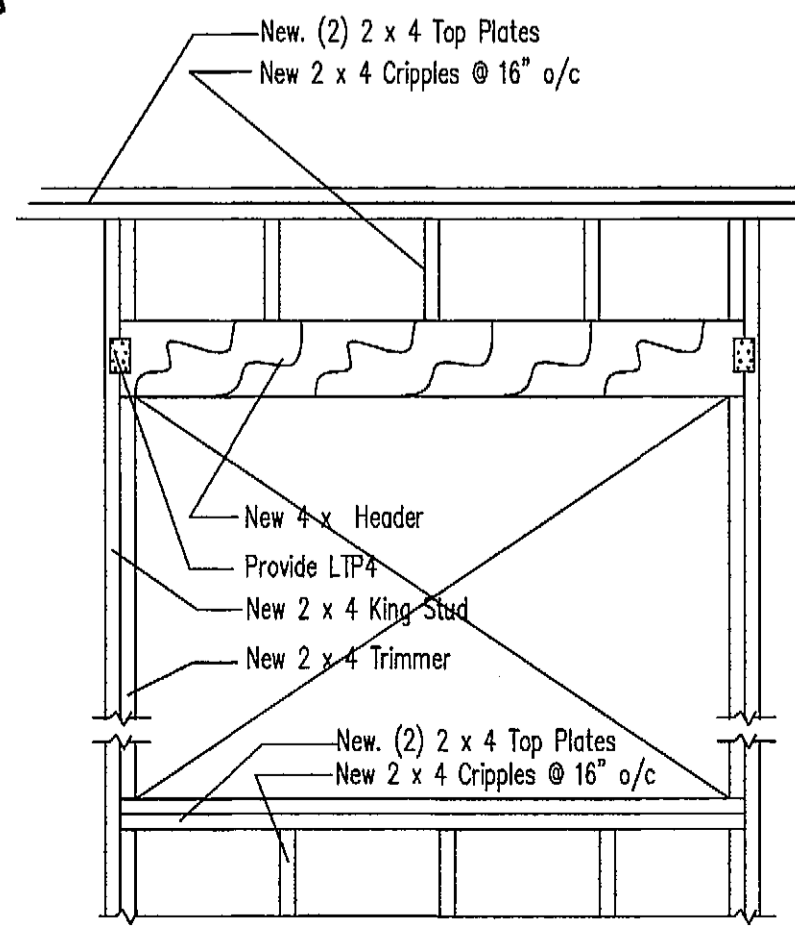
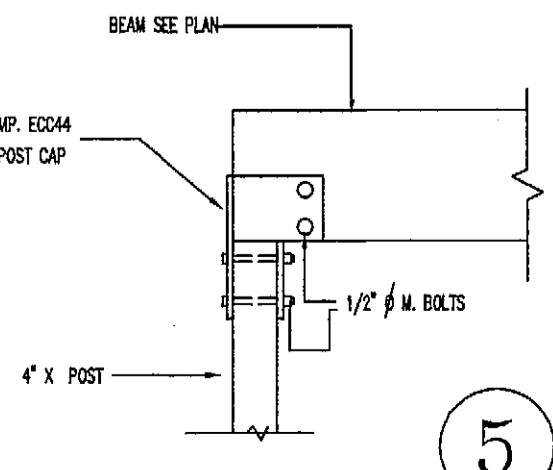
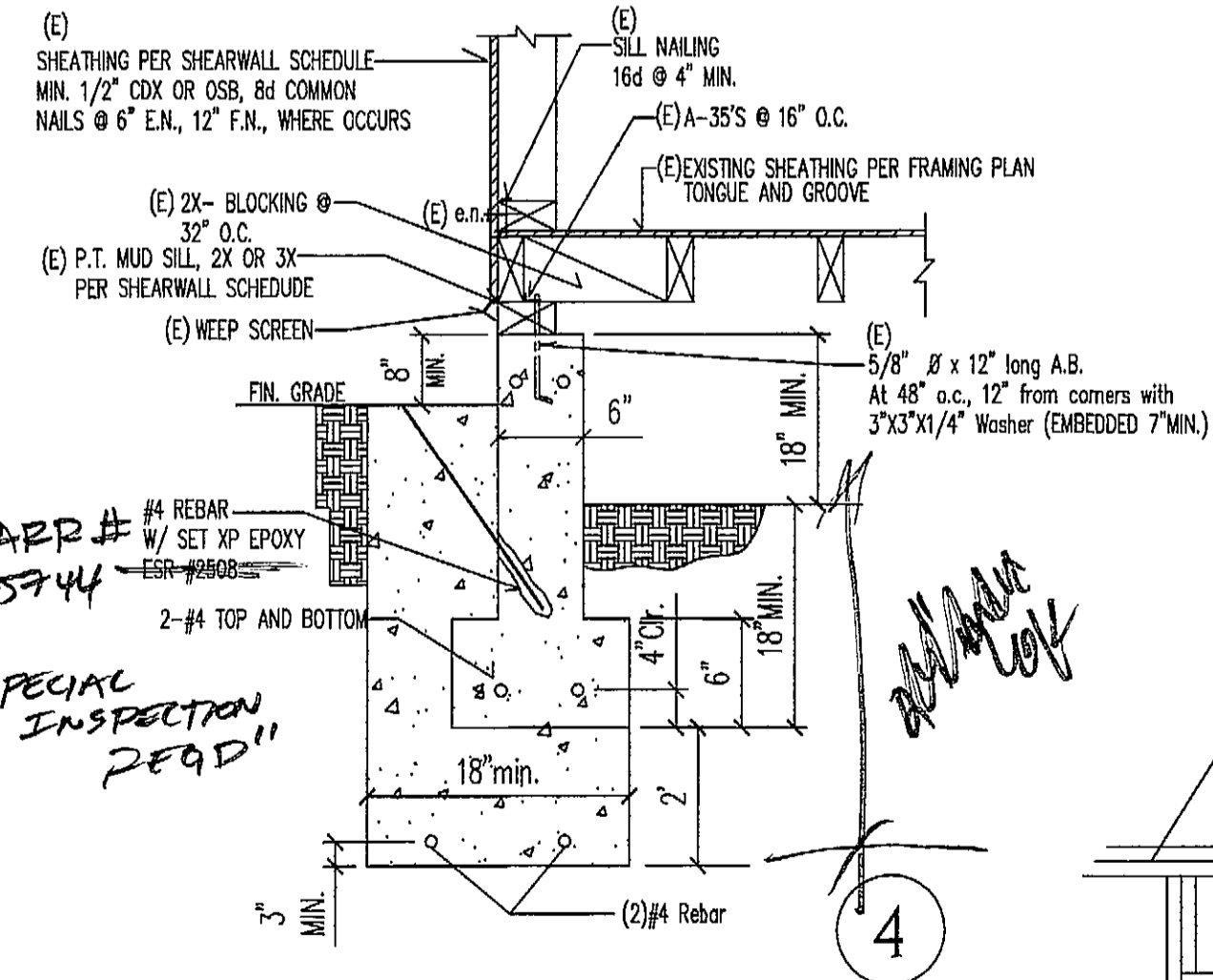
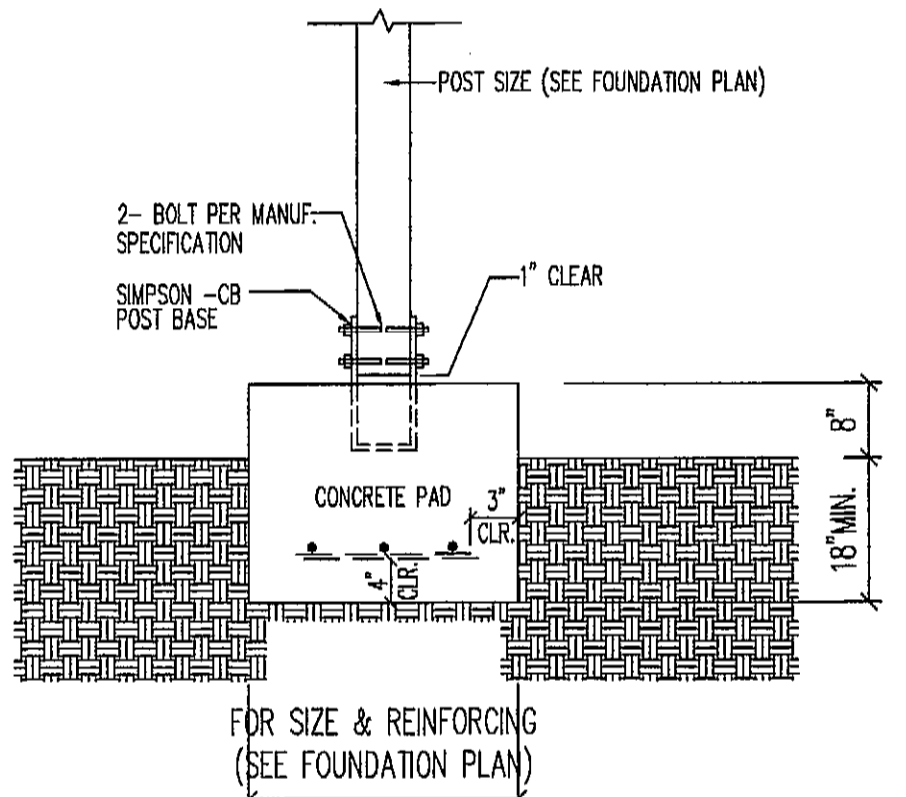
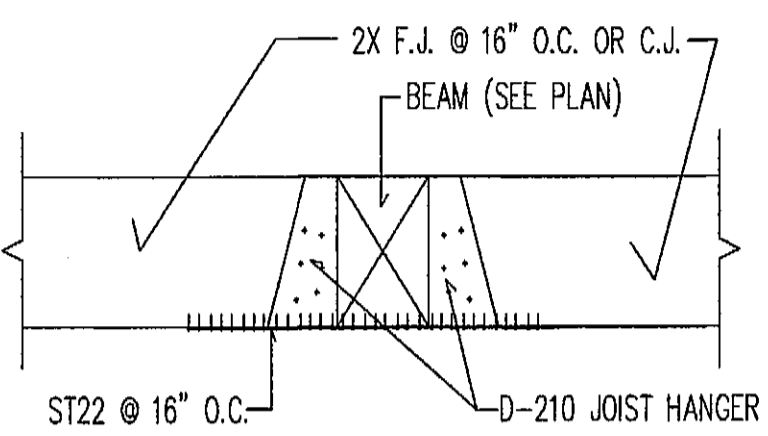
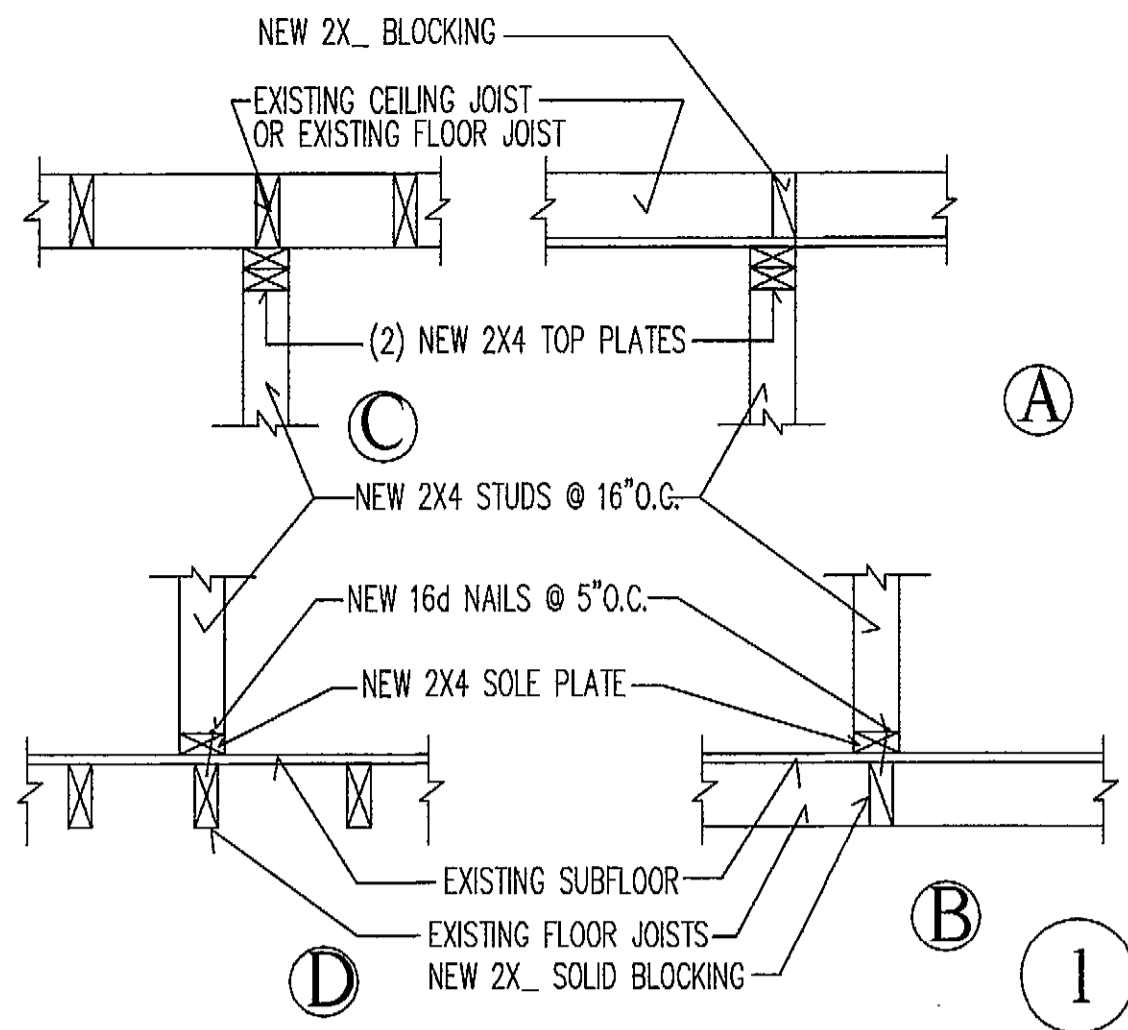
ARTURO VAZQUEZ
562-307-6125
7639 RAMISH AVE
BELL GARDENS, CA 90201

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DRAWN BY: ARTURO VAZQUEZ
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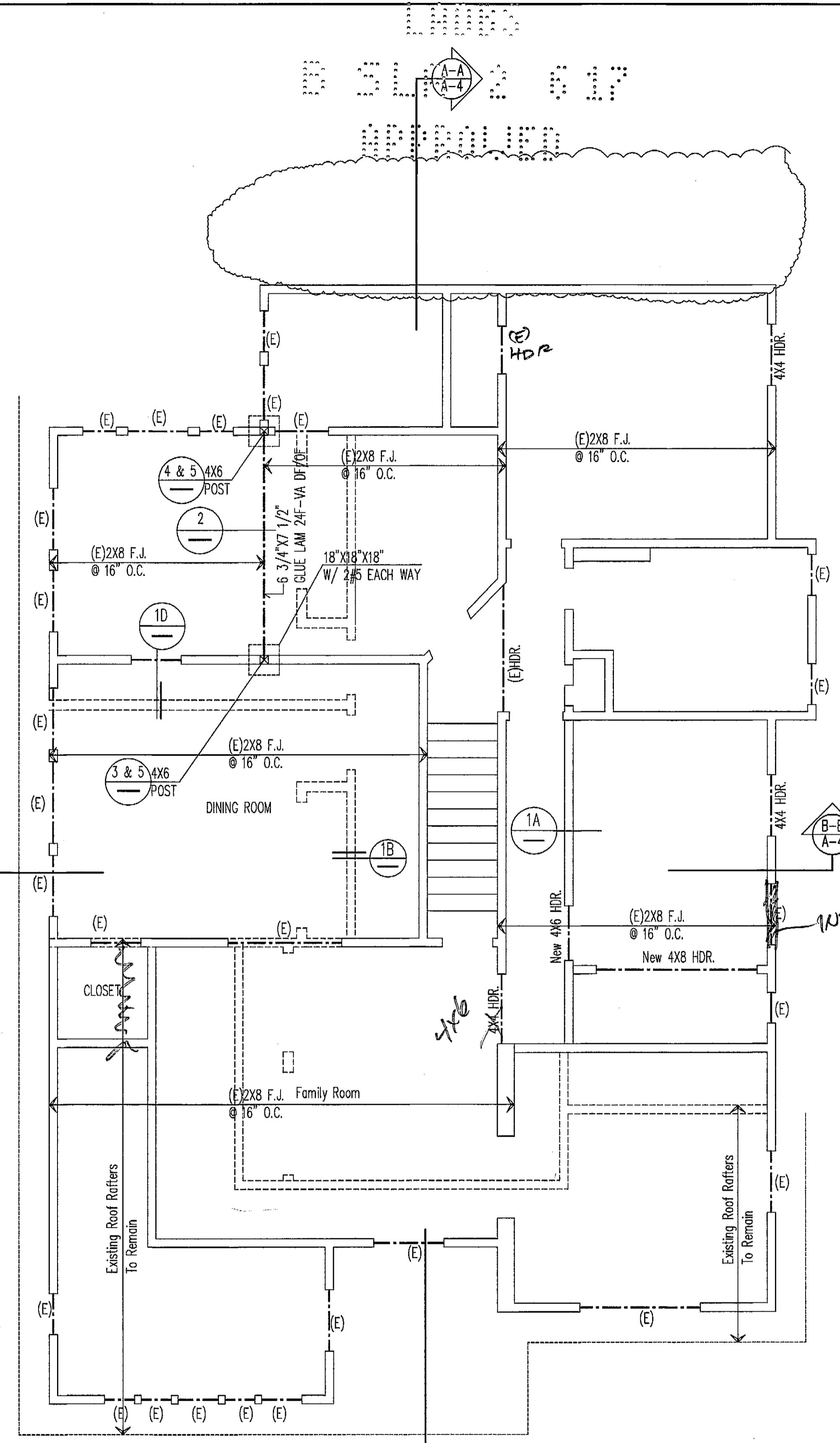
JDF Group LLC
4041 Halldale ave
Los Angeles, Ca 90062

SHEET
A-4



2nd Floor Plan/ Ceiling & Roof Framing

SCALE 1/4"=1'-0"



1ST. FLOOR FRAMING PLAN

SCALE 1/4"=1'-0"

City of Los Angeles, Department of Building & Safety

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Visit <http://www.plm.la.org/lpar/index.cfm> to check the status of this set of plans by entering the 15 digit Permit number. "Issued" status means the permit fees have been paid.

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BY: [Signature] DATE: MAR 01 2017

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2p/17

ARTURO VAZQUEZ
562-307-6125
7639 RAMISH AVE
BELL GARDENS, CA 90201

NO.	DATE	COMMENTS

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CHECKED BY:
DATE: 3-9-2017
SCALE: AS NOTED

JDF Group LLC
4041 Halldale ave
Los Angeles, Ca 90062

SHEET

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BY MICHAEL...
FEB 03 2017

Glazing in the following locations shall be safety glazing conforming to the human impact loads of Section R308.3 (See exceptions) (R308.4)

- a. Fixed and operable panels of swinging, sliding and bi-fold door assemblies
b. Glazing in an individual fixed or operable panel adjacent to a door where the nearest vertical edge is within a 24-inch arc of either vertical edge of the door in closed position and whose bottom edge is less than 60 inches above the floor or walking surface.
c. Glazing in an individual fixed or operable panel that meets all of the following conditions:
1) Exposed area of an individual pane greater than 9 square feet
2) Bottom edge less than 18 inches above the floor.
3) Top edge greater than 36 inches above the floor.
4) One or more walking surfaces within 36 inches horizontally of the glazing
d. Glazing in railings.
e. Glazing in enclosures for or walls facing hot tubs, whirlpools, saunas, steam rooms, bathtubs and showers where the bottom edge of the glazing is less than 60 inches measured vertically above any standing or walking surface.
f. Glazing in wall and fences adjacent to indoor and outdoor swimming pools, hot tubs and spas where the bottom edge of the glazing is less than 60 inches above the walking surface and within 60 inches, measured horizontally on a straight line, of the water's edge.
g. Glazing where the bottom exposed edge of the glazing is less than 36 inches above the plane of the adjacent walking surface of stairways, landings between flights of stairs and ramps.
h. Glazing adjacent to the landing at the bottom of a stairway where the glazing is less than 36 inches above the landing and within 60 inches horizontally of the bottom tread.
6. Damproofing, where required, shall be installed with materials and as required in Section R406.1
7. Vehicular access doors shall comply with Section R612.4.
8. Buildings shall have approved address numbers, building numbers or approved building identification placed in a position that is plainly legible and visible from the street or road fronting the property.
9. Protection of wood and wood based products from decay shall be provided in the locations specified per Section R317.1 by the use of naturally durable wood or wood that is preservative-treated in accordance with ANPA U1 for the species, product, Preservatives shall be listed in Section 4 of ANPA U1.
10. Provide anti-graffiti finish to within the first 9 feet, measured from grade, at exterior walls and doors. Exception: Maintenance of building affidavit by the owner to covenant and agree with the City of Los Angeles to remove any graffiti within 7-days of the graffiti being applied. (6306)
11. All interior and exterior stairways shall be illuminated.
12. AN APPROVED SMOKE ALARM SHALL BE INSTALLED IN EACH SLEEPING ROOM AND HALLWAY OR AREA GIVING ACCESS TO A SLEEPING ROOM, AND ON EACH STORY AND BASEMENT FOR DWELLING WITH MORE THAN ONE STORY. SMOKE ALARMS SHALL BE INTERCONNECTED SO THAT ACTIVATED OF ONE ALARM WILL ACTIVATE ALL THE ALARMS WITHIN THE INDIVIDUAL DWELLING UNIT. IN NEW CONSTRUCTION SMOKE ALARMS SHALL RECEIVE THEIR PRIMARY POWER SOURCE FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH BATTERY BACK UP AND LOW BATTERY SIGNAL.
13. AN APPROVED CARBON MONOXIDE ALARM SHALL BE INSTALLED IN DWELLING UNITS WITHIN WHICH FUEL-BURNING APPLIANCES ARE INSTALLED AND IN DWELLING UNITS THAT HAVE ATTACHED GARAGES. CARBON MONOXIDE ALARM SHALL BE PROVIDED OUTSIDE OF EACH SEPARATE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS AND ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS. (R315)

Notes:

- a. The construction shall restrict a five-foot clear and unobstructed access to any water or power distribution facilities (Power poles, pull boxes, transformers, vaults, pumps, valves, meters, appurtenances, etc.) to the location of the hook-up. The construction shall not be within then feet of any power lines-whether or not the lines are located on the property. Failure to comply may cause construction delays and / or additional expenses.
b. An approved Seismic Gas Shutoff Valve will be installed on the fuel gas line on the downstream side of the utility meter and be rigidly connected to the exterior of the building or structure containing the fuel gas piping. (Per Ordinance 170.15B) (Separate plumbing permit is required)
c. Plumbing fixtures are required to be connected to a sanitary sewer or to an approved sewage disposal system. (R306.3).
d. Kitchen sinks, lavatories, bathtubs, showers, videts, laundry tubs and washing machine outlets shall be provided with hot and cold water and connected to an approved water supply (R30.4)
e. Bathtub and shower floors, walls above bathtubs with a showerhead, and shower compartments shall be finished with a nonabsorbent surface. Such wall surfaces shall extend to height of not less than 6 feet above the floor. (R307.2)
f. Provide ultra-low flush water closets for all new construction. Existing shower heads and toilets must be adapted for low water consumption.
g. Water Heater must be strapped to wall (Sec. 507.3)
k. Automatic garage door openers, if provided, shall be listed in accordance with UL 325. (R308.4)
7. Buildings shall have an approved address numbers, building numbers or approved building identification place in position that is plainly legible and visible from the street or road fronting the property. (R319.1).
8. Protection of wood and wood based products from decay shall be provided in the locations specified per Section R317.1 by the use of naturally durable wood or wood that is preservative -treated in accordance with ANPA U1 for the species, product, preservative and end use. Preservatives shall be listed in Section 4 of ANPA U1.
l. Smoke Detectors shall be provided for all dwelling units intended for human occupancy, upon the owner's application for a permit for alterations, repairs, r additions, exceeding one thousand dollars (\$1,000.00) (R314.6.2)
m. Where a permit is required for alterations, repairs or additions exceeding one thousand dollars (\$1,000.00), existing dwellings or sleeping units that have attached garages or fuel-burning appliances shall be provided with a carbon monoxide alarm in accordance with Section R315.2. Carbon monoxide alarms shall only be required in the specific dwelling unit or sleeping unit for which the permit was obtained. (R315.2.2)
n. Every space intended for human occupancy shall be provided with natural light by means of exterior glazed openings in accordance with Section R303.1 or shall be provided with artificial light that is adequate to provide an average illumination of 6 foot-candles over the area of the room at a height of 30 inches above the floor level. (R303.1)
o. A copy of the evaluation report and/ or conditions of listing shall be made available at the job site.

Security Requirements (2014 LABC)

- 1. All entry doors to dwelling units or guests rooms shall be arranged so that the occupant has a view of the area immediately outside the door without opening the door. Such view may be provided by a door viewer, through windows located in the vicinity of the door or through view ports in the door or adjoining wall. (6706)
2. Screens, barricades, or fences made of a material which should preclude human climbing shall be provided at every portion of every roof, balcony, or similar surface which is within 8 ft. of the utility pole or similar structures. (6707)
3. Wood flush-type doors shall be 1-3/8" thick minimum with solid core construction. 91.6709.1 - Door stops in in-swinging doors shall be of one-piece construction with the jamb or spindel on the jamb. (6709.4)
4. Every door in a security opening for an apartment house shall be provided with a light bulb (60 watt min.) At maximum height of 8 feet on the exterior.(6708)
5. All pin-type door hinges accessible from outside shall have non-removable hinge pins. Hinges shall have min 3/8" dia. steel jamb stud with 1/2" min. protection. The strike plate for latches and holding device for projecting dead bolts in wood construction shall be secured to the jamb and the wall framing with screws no less than 2-1/2" long. (6709.5, 6709.7)
6. Provide dead bolts with hardened inserts; deadlocking latch with key-operated on exterior. Doors must be operable from the inside without a key, special knowledge, or special effort (latch not required in B, F, and S occupancies). (6709.2)
7. Straight dead bolts shall have a min. throw of 1" and an embedment of not less than 3/8", and a hook-shaped or an expanding-lug deadbolt shall have a minimum throw of 3/4". (6709.2)
8. Wood panel type doors must have panels at least 3/8" in. thick with shaped portions not less than 1/4" in. thick and individual panels must be no more than 300 sq. in. in area. Mullions shall be considered a part of adjacent panels except mullions not over 18 inches long may have an overall width of not less than 2 inches. Stiles and rails shall be of solid lumber in thickness with overall dimensions of not less than 1-3/8 inches and 3 inches in width. (91.6709.1 Item 2)
9. Sliding doors shall be provided with a device in the upper channel of the moving panel to prohibit raising and removing of the moving panel from track while in the closed position. (6710)
10. Sliding glass doors panels shall be closed and locked when subjected to the tests specified in Sec. 6717.1)
11. Metal or wooden overhead or sliding doors shall be secured with a cylinder lock, padlock with a min. 3/8" diameter hardened steel shackle and bolted, hardened steel hasps, metal slide board, bolt or equivalent device unless secured electrically operated. (6711)
12. Provide metal guides at top and bottom of metal accordion grate or grille-type doors and cylinder locks or padlocks. Cylinder guards shall be installed on all cylinder locks whenever the cylinder projects beyond the face of the door or is otherwise accessible to gripping tools. (6712)
13. In Group B, F, M and S occupancies, panes of glazing with at least one dimension greater than 5 in. but less than 48 in. shall be constructed of tempered or approved burglary-resistant material or protected with metal bars or grilles. (6714)
14. Glazed openings within 40" of the required locking device of the door, when the door is in the closed and locked position and when the door is operable from the inside without use of a key, shall be fully tempered glass per Section 2406, or approved burglary resistant material, or shall be protected by metal bars, screens or grilles having a maximum opening of 2". The provisions of this section shall not apply to slide glass doors which conform to the provisions of Section 6710 or to view ports or windows which do not exceed 2" in their greater dimensions. (6713)
15. Louvered windows shall be protected by metal bars or grilles with openings that have at least one dimension of 6" or less, which are constructed to preclude human entry. (6715.3)
16. Other operable windows shall be provided with substantial locking devices. In Group B, F, M and S occupancies, such devices shall be glide bars, bolts, cross-bars, and/ or padlocks with a minimum 3/8" hardened steel shackles and bolted, hardened steel hasps. (6715.2)
17. Sliding windows shall be provided with non-locking devices. A device shall be installed in the upper channel of the moving panel to prohibit raising and removing of the moving panel in the closed or partially open position. (6715.1)
18. Sliding glass windows sash shall be closed and locked when subjected to the tests specified in Sec. 6717.2.
19. Any release for metal bars, grilles, grates or similar devices constructed to preclude human entry that are installed shall be located on the inside of the adjacent room and at least 24 inches from the closest opening through such metal bars, grilles, grates or similar devices that exceeds two inches in any dimension. (6715.4)
20. All other openings other than doors or glazed openings must be protected by metal bars or grilles with openings of not less than 6 inches in one dimension. (6716.6)

Notes:

- 1) All Construction to remain unless otherwise noted.
2) New Construction to be Type V-B.
3) Provide R-13 Insulation on Exterior Walls.
4) Provide R-19 Insulation on 2 x 6 Stud Framed Exterior Walls.
5) Provide R-30 Insulation on Ceiling.
6) Hard wired SMOKE DETECTORS are required in each room used for sleeping (Battery Backup) centrally located in the wall or ceiling in each separate sleeping area. Detectors shall sound an alarm audible in all sleeping areas of the unit.
Hard wired CARBON MONOXIDE (Battery Backup) shall be centrally located in the wall or ceiling in corridors providing access to each separate sleeping area, in close proximity to the stairway. Detectors shall sound an alarm audible in all sleeping areas of the unit.
7) Provide 1.28 Gal. Per flush water closets.
8) Bathrooms are required to be mechanically ventilated with a minimum 50 cfm intermittent or 25 cfm continuous exhaust fan. ENERGY STAR Equipped with Readily Accessible Humidistat.
9) New Glazing to be Dual Glazed
10) The Governing Codes for this project are the 2013 CRC, CMC, CPC, CEC, CGBC, 2009 T24 CA Energy, City of Los Angeles Municipal Ordinance.
11) All Branch circuits that supply 125 volt, single phase, 15 and 20 ampere outlets shall be protected by Arc-Fault Circuit Interrupter (s) [CEC 210.12]
12) Bathrooms and Kitchens shall have Fluorescent Lighting with at least 40 Lumens per watt.
13) Bathroom Receptacles shall be served by Dedicated 20amp Circuits-NEC Section 210-52(d). (CEC 210-11C3).
14) Any fixed appliance such as disposal, dishwasher, clothes washer, dryer, built-in heaters, or any other fixed appliance with 1/4 H.P. motor or larger, shall be on a separate #12 AWG wire branch circuit. Each dwelling unit shall have installed therein an individual disposal circuit supplied with a minimum #12 AWG wire and a 15 AMP indicating-type switch. [CEC 210-23 & 220].
15) Bathtub and shower floors, walls above bathtubs with showerhead, and shower compartments shall be finish with a nonabsorbent surface. Such wall surfaces shall extend to a height of not less than 6 feet above the floor. (R307.2)
16) Provide 72 inch high non-absorbent wall adjacent to shower and approved shitter-resistant materials for shower enclosure. (R308)
17) All glazing less than 60" above a shower or tub floor shall be safety glazing. [CBC 2406.3 ITEM 5]
18) Control valves for shower and tub - shower shall be of the pressure balanced type.
19) Maximum Flow Rate Standards Set By State of California, Department of Building Safety, City of Los Angeles, Department of Building Safety
A. Water Closets : 1.28 GPM
B. Showerheads : 2.0 GPM
C. Laundry Faucets : 2.0 GPM
D. Sink Faucets : 2.0 GPM
20) Building Address shall be provided and building in each jurisdiction shall be visible and legible from the street.
21) Glazing in Hazardous locations shall be safety glazing.
a. Ingress and egress doors
b. panels in sliding or swinging doors.
c. doors and enclosure for hot tubs, whirlpools, saunas, steam rooms, bathtubs, showers (at the job site during construction.
d. if within 2' of vertical edge of hot tub, shower, or similar structure, the glazing shall be safety glazing or be an approval of the building official.
• It is used for water, gas, steam, change, or heating from these plans.
• The stamping of these plans SHALL NOT be taken as an approval of any provisions of any ordinance or Law.
• SEPARATE permits are required for BUILDING, ELECTRICAL, PLUMBING, MECHANICAL, HEATING, VENTILATION AND AIR CONDITIONING, FIRE SPRINKLER, ELEVATOR, HEATING or REFRIGERATION work, unless this permit was issued as a combination permit for a One or Two Family Dwelling pursuant to LAMC Section 91.0107.2.2. and the work by that trade does not require Plan Check.

APPROVED PLANS stamp with date FEB 03 2017 and signature line. Includes text: READY TO ISSUE BY MICHAEL LOPEZ FEB 03 2017

Vertical information bar containing: REVISIONS, BY, Drawn By: ARTURO VAZQUEZ, 562-307-6125, 7639 RAMISH AVE, BELL GARDENS, CA 90201, Sheet Title: GENERAL NOTES, Job Address: 1054 W. 45th Street, Los Angeles, CA 90037, Owner: JDF Group LLC, 4041 Halldale ave, Los Angeles, Ca 90062, Drawn By: Checked, Date, Scale, Job No, Sheet, GN-1